

**SECOND AMENDMENT TO MASTER DEED OF
MANORS AT CENTRAL PARK**

Woodlake-Landtec of Central Park, LLC, a Michigan limited liability company, ("Developer"), whose is 47786 Van Dyke, Suite 200, Shelby Township, Michigan 48317, the Developer of Manors at Central Park, a Condominium Project established pursuant to the Master Deed thereof, recorded in Liber 14543, Page 223, and First Amendment to the Master Deed recorded in Liber 19749, Page 113, Macomb County Records, and known as Macomb County Condominium Subdivision Plan No. 833, hereby amends the Master Deed of Manors at Central Park pursuant to the authority reserved therein and pursuant to the approval of Manors at Central Park Association, a Michigan non-profit corporation, for the purposes of (i) adding new Article XIII to the Master Deed, (ii) amending Exhibit B to the Master Deed to update patio locations, (iii) amending Exhibit B to the Master Deed to modify the dimensions of Units 37, 57, 95, 118, 119 and 122, (iv) amending Exhibit B to the Master Deed to remove certain walking paths, and (v) amending Exhibit B to the Master Deed to add new Phasing Plan Sheet. Upon recordation in the Office of the Macomb County Register of Deeds of this Amendment, said Master Deed and Exhibit B shall be amended in the following manner:

1. New Article XIII, as set forth below, is hereby added to the Master Deed of Manors at Central Park.

New Article XIII to the Master Deed of Manors at Central Park:**ARTICLE XIII****DEVELOPMENT IN PHASES**

Section 1. Development In Phases. The Condominium Project shall be developed in 19 or more phases (collectively "Phases"), as permitted by this Article XIII. The Developer may elect to develop the Phases in any order or may elect to develop two or more phases simultaneously. Absent an election by the Developer to the contrary, the Phases shall be developed as set forth in this Article.

Section 2. Phases. The Condominium Project shall be developed in the following Phases:

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C

Phase 1 – shall consist of Units 1 through 36, 39, 40, 45 through 56, 61 through 94, 101 through 112, 123, 137 through 167.

Phase 2 - shall consist of Units 97, 98, 99, 100.

Phase 3 – shall consist of Units 59, 60, 95, 96.

Phase 4 – shall consist of Units 37, 38.

Phase 5 – shall consist of Units 121, 122.

Phase 6 – shall consist of Units 41, 42.

Phase 7 -- shall consist of Units 43, 44.

Phase 8 – shall consist of Units 57, 58.

Phase 9 - shall consist of Units 119, 120.

Phase 10 – shall consist of Units 117, 118.

Phase 11 – shall consist of Units 115, 116.

Phase 12 – shall consist of Units 113, 114.

Phase 13 – shall consist of Units 124.

Phase 14 – shall consist of Units 125, 126.

Phase 15 – shall consist of Units 127, 128.

Phase 16 – shall consist of Units 129, 130.

Phase 17 – shall consist of Units 131, 132.

Phase 18 – shall consist of Units 133, 134.

Phase 19 – shall consist of Units 135, 136.

Section 3. Modification of Phases. The Phases, as described in Section 2 above, may be consolidated, enlarged or otherwise modified by the Developer, in its sole discretion, without the consent of Co-owners or mortgagees.

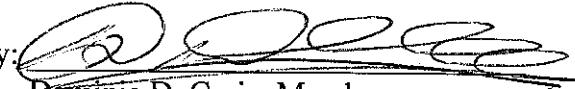
3. Amended Sheets 1, 6, 7, 9, 10, 11, 13, and 14, of the Condominium Subdivision Plan of Manors at Central Park as attached hereto, shall replace and supersede Sheets 1, 6, 7, 9, 10, 11, 13, and 14, of the Condominium Subdivision Plan of Manors at Central Park as originally recorded and subsequently amended, and originally recorded and subsequently amended sheets 1, 6, 7, 9, 10, 11, 13, and 14, shall be of no further force or effect.

4. New Sheets 13A, 13B, 14A, 14B, 14C, and 16 shall be added to the Condominium Subdivision Plan of Manors at Central Park.

In all respects, other than as hereinabove indicated, the original Master Deed of Manors at Central Park, including the Bylaws and Condominium Subdivision Plan respectively attached thereto as Exhibits A and B, recorded as aforesaid, is hereby ratified, confirmed and redeclared.

Dated this 14th day of MARCH, 2016.

WOODLAKE-LANDTEC OF CENTRAL PARK, LLC, a Michigan limited liability company

By: 
Dominic D. Geric, Member

STATE OF MICHIGAN)
) ss.
COUNTY OF)

The foregoing instrument was acknowledged before me this 14th day of March, 2016, by Dominic D. Geric, Member of Woodlake-Landtec of Central Park, LLC, a Michigan limited liability company, on behalf of it.

S A Duchene
Notary Public, State of Michigan
County of Macomb
My Commission Expires: August 3, 2019
Acting in Macomb County, MI



Notary Public
Acting in Macomb County, Michigan
My Commission Expires: August 3, 2019

Master Deed drafted by:

Mark J. Abdo, Attorney at Law
12900 Hall Road, Suite 405
Sterling Heights, Michigan 48313

When recorded return to drafter

REPLAT NO. 2 OF
MACOMB COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 833

EXHIBIT B TO THE SECOND AMENDMENT
TO THE MASTER DEED OF

MANORS AT CENTRAL PARK CONDOMINIUM

A CONDOMINIUM IN THE
CHARTER TOWNSHIP OF SHELBY
MACOMB COUNTY, MICHIGAN

DEVELOPER
WOODLAKE-LANDTEC OF CENTRAL PARK, LLC
47786 VAN DYKE, SUITE 200
SHELBY TOWNSHIP, MI 48317

ENGINEER AND SURVEYOR
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MICHIGAN 48076

AREA 1 LEGAL DESCRIPTION

Commencing at the South $\frac{1}{4}$ Corner of Section 21, T3N, R12E, Shelby Township, Macomb County, Michigan; thence N00°05'09"W 60.00 feet along the North-South $\frac{1}{4}$ line of said Section 21; thence N89°59'00"E 67.10 feet along the North right-of-way line of 22 Mile Road (60' $\frac{1}{2}$ Width); thence N00°05'30"W 225.02 feet; thence N89°54'30"E 79.14 feet; thence N00°26'08"E 1860.60 feet; thence S89°47'12"W 50.77 feet to the PLACE OF BEGINNING; thence continuing S89°47'12"W 698.32 feet; thence 249.44 feet along the arc of a 216.00 foot radius circular curve to the left, having a chord which bears S56°42'15"W 235.81 feet; thence N65°22'42"W 213.55 feet; thence N00°11'03"W 1034.08 feet; thence N89°51'59"E 266.93 feet; thence N00°08'01"W 143.07 feet; thence N89°51'58"E 900.29 feet; thence S00°08'01"E 28.95 feet; thence 78.34 feet along the arc of a 47.73 foot radius non-tangential circular curve to the right, having a chord which bears S22°49'41"E 69.84 feet; thence 60.14 feet along the arc of a 73.53 foot radius reverse non-tangential circular curve to the left, having a chord which bears S00°47'57"E 58.48 feet; thence 70.23 feet along the arc of a 71.30 foot radius reverse non-tangential circular curve to the right, having a chord which bears S00°03'01"E 67.43 feet; thence 55.24 feet along the arc of a 57.65 foot radius reverse non-tangential circular curve to the left, having a chord which bears S09°36'41"W 53.15 feet; thence S18°17'18"E 61.19 feet; thence S00°08'01"E 31.10 feet; thence 132.19 feet along the arc of a 124.04 foot radius non-tangential circular curve to the left, having a chord which bears S30°27'53"W 126.02 feet; thence S00°03'52"E 328.23 feet; thence S04°30'00"W 74.25 feet; thence S00°04'39"E 78.05 feet; thence 44.32 feet along the arc of a 144.32 foot radius circular curve to the right, having a chord which bears S07°41'44"W 44.14 feet; thence 91.07 feet along the arc of a 405.02 foot radius reverse non-tangential circular curve to the left, having a chord which bears S06°53'52"W 90.87 feet; thence S00°05'30"E 24.64 feet; thence 39.22 feet along the arc of a 25.00 foot radius circular curve to the right, having a chord which bears S44°50'51"W 35.32 feet to the Place of Beginning, being a part of the NW 1/4, NE 1/4, SW 1/4, and the SE 1/4 of said Section 21, containing 29.73 acres of land, more or less. Being subject to easements, conditions, restrictions and exceptions of record, if any.

AREA 2 LEGAL DESCRIPTION

Commencing at the South $\frac{1}{4}$ Corner of Section 21, T3N, R12E, Shelby Township, Macomb County, Michigan; thence N00°05'09"W 60.00 feet along the North-South $\frac{1}{4}$ line of said Section 21; thence N89°59'00"E 67.10 feet along the North right-of-way line of 22 Mile Road (60' $\frac{1}{2}$ Width); thence N00°05'30"W 225.02 feet; thence N89°54'30"E 79.14 feet; thence N00°26'08"E 1860.60 feet; thence S89°47'12"E 63.25 feet to the PLACE OF BEGINNING; thence 39.32 feet along the arc of a 25.00 foot radius non-tangential circular curve to the right, having a chord which bears N45°09'41"W 35.39 feet; thence N00°06'33"W 24.42 feet; thence 91.07 feet along the arc of a 405.02 foot radius non-tangential circular curve to the left, having a chord which bears N07°05'56"W 90.87 feet; thence 19.12 feet along the arc of a 144.32 foot radius reverse non-tangential circular curve to the right, having a chord which bears N12°53'53"W 19.11 feet; thence N89°46'54"E 946.21 feet; thence S00°12'48"E 14.03 feet; thence 52.91 feet along the arc of a 100.00 radius circular curve to the right, having a chord which bears S14°56'37"W 52.29 feet; thence S30°06'01"W 123.27 feet; thence 37.51 feet along the arc of a 25.00 foot radius circular curve to the right, having a chord which bears S73°04'54"W 34.09 feet; thence 99.08 feet along the arc of a 216.00 foot radius reverse non-tangential circular curve to the left, having a chord which bears N77°04'31"W 98.19 feet; thence S89°47'12"W 702.00 feet to the Place of Beginning, being a part of the SE 1/4 of said Section 21, containing 3.34 acres of land, more or less. Being subject to easements, conditions, restrictions and exceptions of record, if any.

SHEET NO.	DESCRIPTION		
* 1	TITLE AND DESCRIPTION		
2	COMPOSITE SURVEY PLAN		
3	SURVEY PLAN		
4	SURVEY PLAN		
5	SURVEY PLAN		
* 6	SITE PLAN		
* 7	SITE PLAN		
8	SITE PLAN		
* 9	COORDINATE PLAN		
*10	UTILITY PLAN		
*11	UTILITY PLAN		
12	UTILITY PLAN		
*13	BUILDING FOUNDATION PLAN		
*13A	BUILDING FOUNDATION PLAN		
*13B	BUILDING FOUNDATION PLAN		
*14	BUILDING FIRST & SECOND FLOOR PLANS		
*14A	BUILDING FIRST & SECOND FLOOR PLANS		
*14B	BUILDING FIRST & SECOND FLOOR PLANS		
*14C	BUILDING FIRST & SECOND FLOOR PLANS		
15	BUILDING CROSS SECTIONS		
*16	PHASING PLAN SHEET		

THE ASTERISKS (*) SHOWN IN THE SHEET INDEX INDICATE NEW OR AMENDED DRAWINGS WHICH ARE REVISED, DATED JANUARY 11, 2016. THESE DRAWINGS ARE TO REPLACE OR BE SUPPLEMENTAL TO THOSE PREVIOUSLY RECORDED.

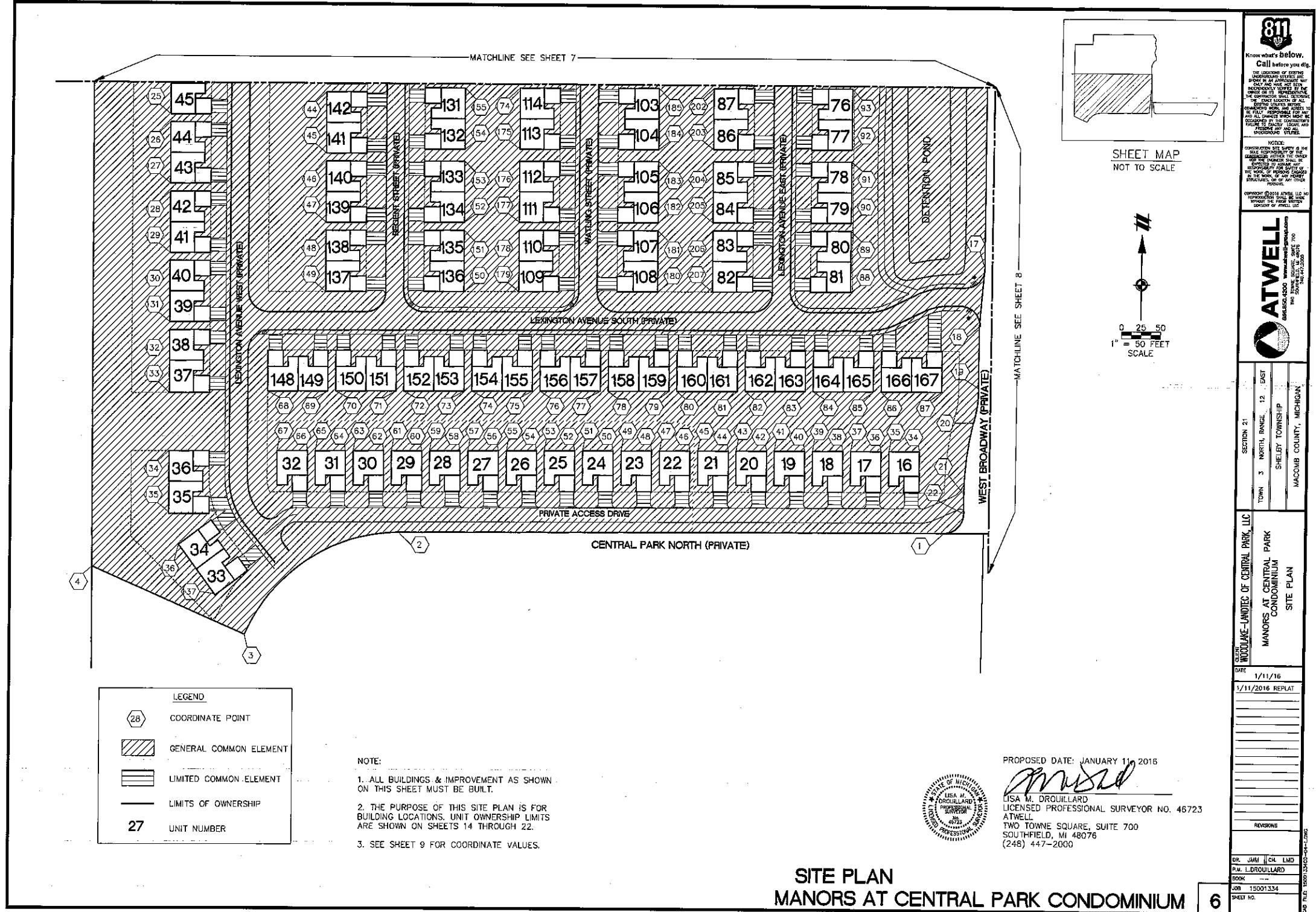
PROPOSED DATE: JANUARY 11, 2016

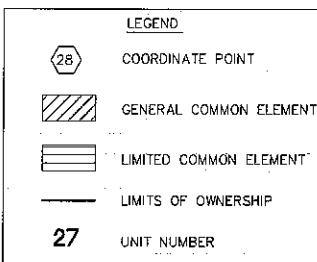
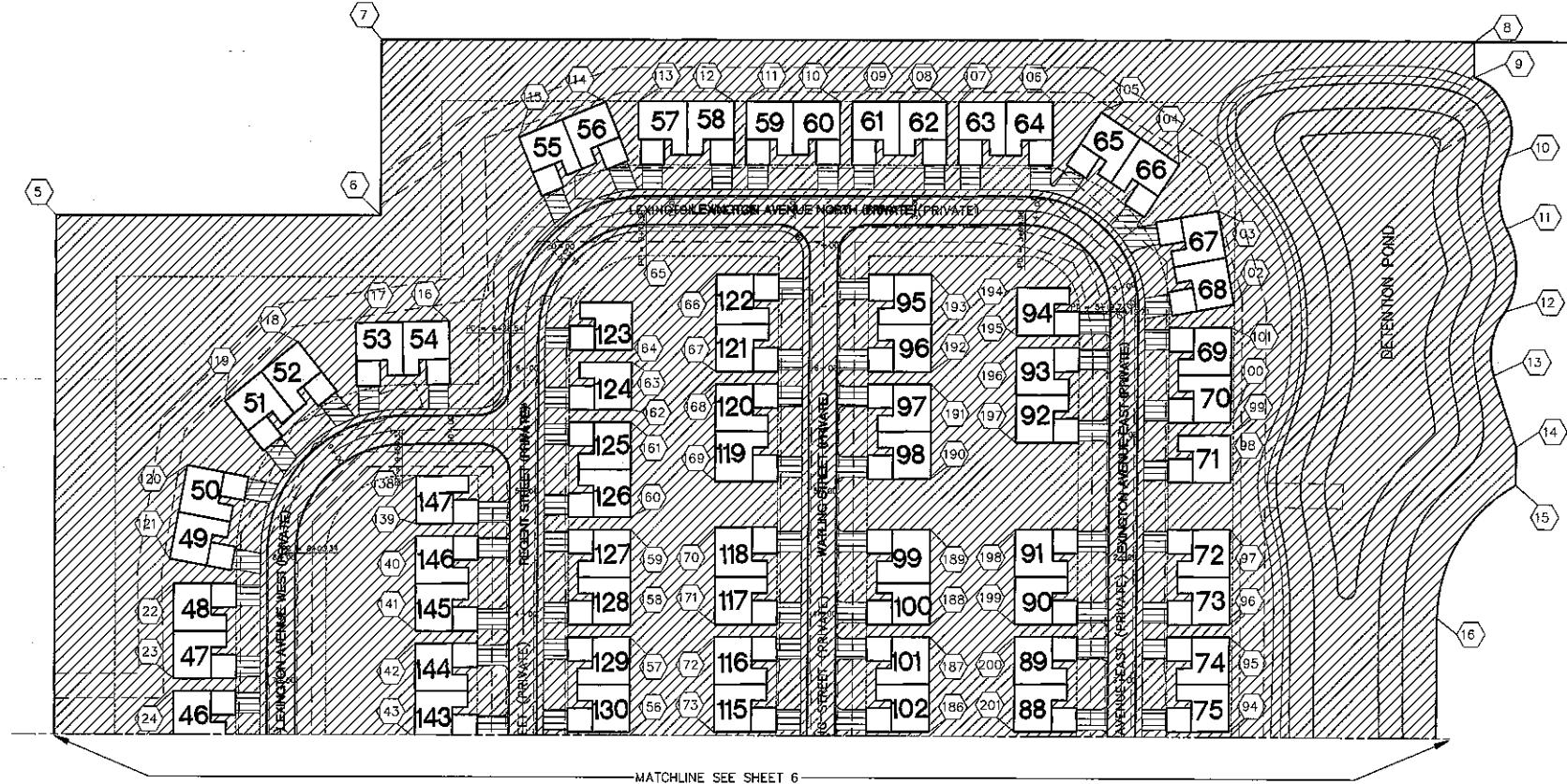


LISA M. DROUILLARD
LICENSED PROFESSIONAL SURVEYOR NO. 46723
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000

811	Know what's below. Call before you dig.
THE LOCATION OF EXISTING UTILITIES SHOULD NOT BE ASSUMED. AN APPROPRIATE POTENTIALLY UNPREDICTED BY THE CONTRACTOR SHALL DETERMINE THE LOCATION OF EXISTING UTILITIES. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES. PERSONS AND ALL PROPERTY ARE PROTECTED FROM DAMAGE.	
NOTICE: CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. THE OWNER IS EXPECTED TO ADVISE ANY CONTRACTOR OF THE LOCATION AND NUMBER OF PERSONS EMPLOYED ON THE CONSTRUCTION SITE. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF PERSONNEL EMPLOYED ON THE CONSTRUCTION SITE.	
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ATWELL 868501200 www.atwell-survey.com TWO TOWNE SQUARE, SUITE 700 SOUTHFIELD, MI 48076 (248) 447-2000	
SECTION 21	TOWN 3 NORTH, TOWNE 12 EAST SHELBY TOWNSHIP MACOMB COUNTY, MICHIGAN
MANORS AT CENTRAL PARK, LLC	MANORS AT CENTRAL PARK CONDOMINIUM TITLE AND DESCRIPTION
DATE	1/11/16
1/11/2016 REPLAT	
REVISIONS	
CD FILE 15001334201-01-000	

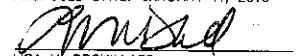
TITLE AND DESCRIPTION
MANORS AT CENTRAL PARK CONDOMINIUM





NOTE:

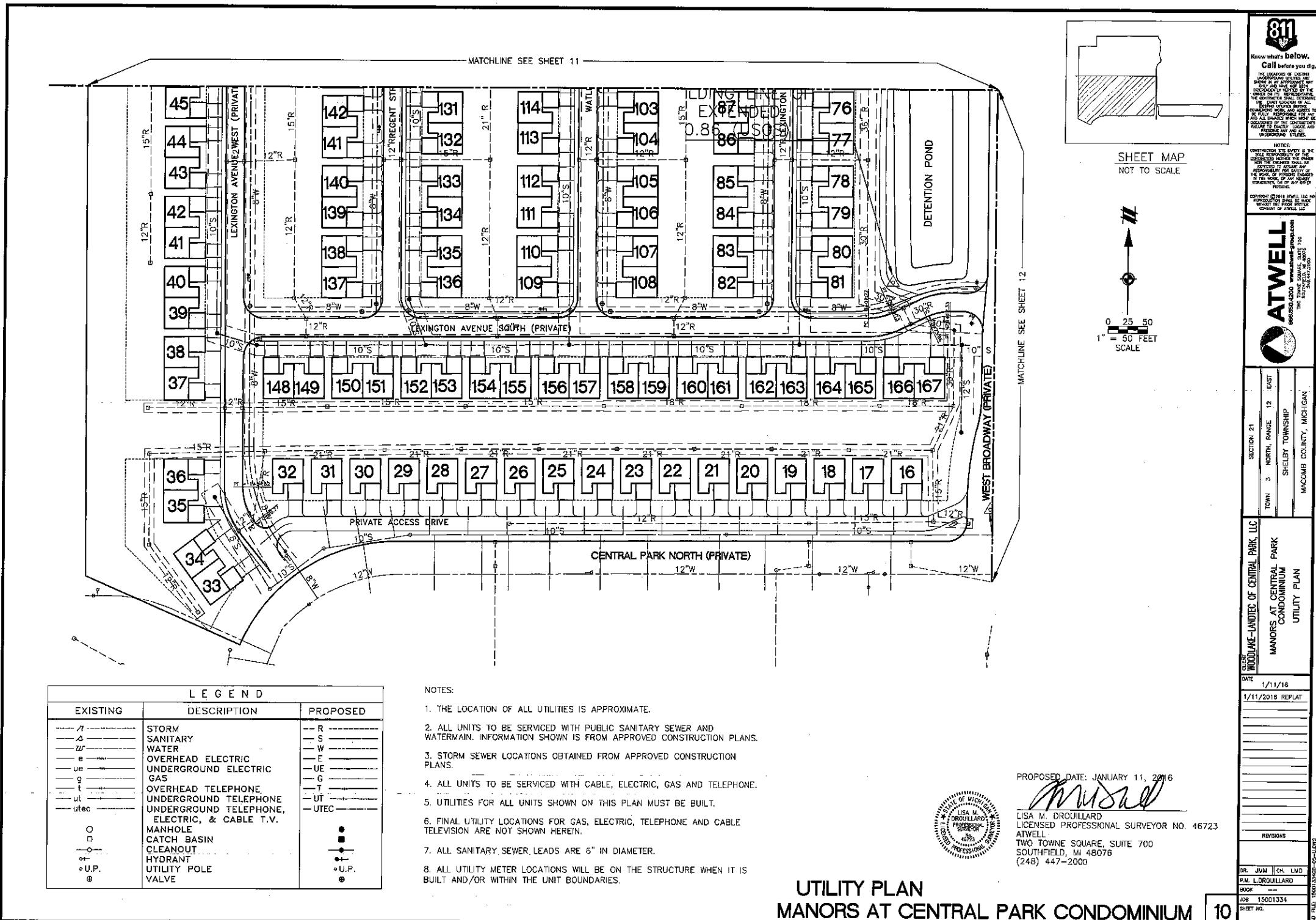
1. ALL BUILDINGS & IMPROVEMENT AS SHOWN ON THIS SHEET MUST BE BUILT.
2. THE PURPOSE OF THIS SITE PLAN IS FOR BUILDING LOCATIONS. UNIT OWNERSHIP LIMITS ARE SHOWN ON SHEETS 14 THROUGH 22.
3. SEE SHEET 9 FOR COORDINATE VALUES.

PROPOSED DATE: JANUARY 11, 2016

 LISA M. DROUILLEARD
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STATE OF MICHIGAN
 DEPARTMENT OF STATE
 DIVISION OF PROFESSIONAL SURVEYORS
 LISA M. DROUILLEARD
 LICENSED PROFESSIONAL SURVEYOR NO. 46723
 ATWELL
 TWO TOWNE SQUARE, SUITE 700
 SOUTHFIELD, MI 48076
 (248) 447-2000

**SITE PLAN
MANORS AT CENTRAL PARK CONDOMINIUM**

811 Know what's below. Call before you dig.	
THE LOCATIONS OF DRIVING POLES, TELEPHONE POLES, CABLES AND OTHER APPROPRIATE MAY NOT BE IDENTIFIED BY THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER OF PERSONS ENGAGED IN EXCAVATION OR OTHER CONSTRUCTION ACTIVITIES OF ANY OTHER UTILITIES LOCATED ON THE PROPERTY AND ALL UTILITIES LOCATED ON THE PROPERTY.	
NOTICE: CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. WHETHER THE OWNER KNOWS IT OR NOT, THE CONTRACTOR IS EXPECTED TO ADHERE TO APPROPRIATE SAFETY STANDARDS AND TO NOT HARM PERSONNEL OR PROPERTY.	
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ATWELL 800-320-2020 www.atwell.com Two Towne Square, Suite 700 Southfield, MI 48076 (248) 447-2000	
SECTION 21	TOWN 3 NORTH RANGE 12 EAST SHELBY TOWNSHIP MACOMB COUNTY, MICHIGAN
DATE 1/11/16 1/11/2016 REPLAT	
REVISIONS	
DR. JMM CH. LMD P.M. DROUILLEARD BOOK JOB 15001334 SHEET NO.	



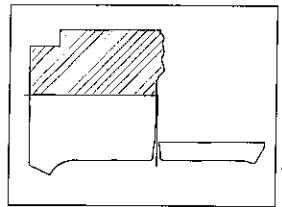
811

Know what's below.
Call before you dig.
THE LOCATION OF DOWNTOWN
DRAINAGE SYSTEMS AND
SEWER LINES MAY NOT BE
DEFINITIVE. CONTRACTOR SHALL
EXTEND
DOWNTOWN DRAINAGE SYSTEMS
COLLECTOR SEWER LINES AS
DEEMED NECESSARY BY THE
CONTRACTOR. CONTRACTOR SHALL
BE FULLY RESPONSIBLE FOR ANY
AND ALL DAMAGE TO THESE
STRUCTURES OR OCCURRED
DURING THE CONSTRUCTION
AND FINISHING PHASES AND
PRESERVE AT ALL TIMES
THE EXISTING DRAINAGE SYSTEM.

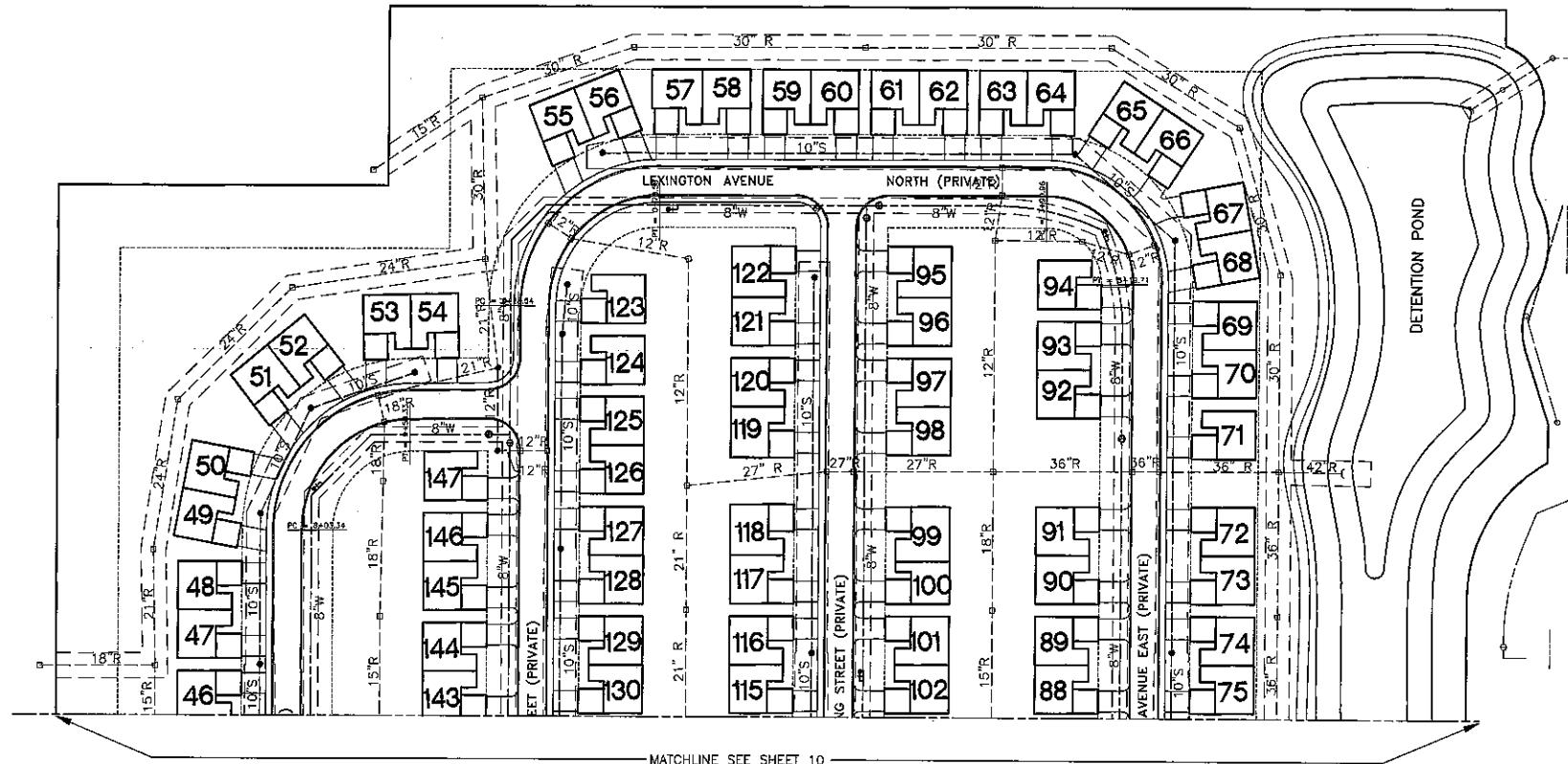
NOTES:
CONSTRUCTION SITE SAFETY IS THE
RESPONSIBILITY OF THE OWNER
AND CONTRACTOR. OWNER AND
CONTRACTOR WILL NOT BE
EXPECTED TO ADHERE TO ANY
REGULATIONS THAT REQUIRE
THE WORK, OR PERSONNEL LOCATED
ON THE CONSTRUCTION SITE,
TO FOLLOW THE SAME SAFETY
STANDARDS AS ARE REQUIRED
FOR OTHER CONTRACTORS
INVOLVED IN THE PROJECT.
CONTRACTOR SHALL BE RESPONSIBLE
FOR ALL DAMAGE TO EXISTING
STRUCTURES OR OCCURRED
DURING THE CONSTRUCTION
AND FINISHING PHASES AND
PRESERVE AT ALL TIMES
THE EXISTING DRAINAGE SYSTEM.

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SHEET MAP
NOT TO SCALE



N
0 25 50
1" = 50 FEET
SCALE



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
—A	STORM	—R
—D	SANITARY	—S
—W	WATER	—W
e	OVERHEAD ELECTRIC	E
ue	UNDERGROUND ELECTRIC	UE
g	GAS	G
t	OVERHEAD TELEPHONE	T
ut	UNDERGROUND TELEPHONE	UT
utec	ELECTRIC, & CABLE T.V.	UTEC
○	MANHOLE	●
○	CATCH BASIN	■
○	CLEANOUT	●●
○	HYDRANT	●○
○	UTILITY POLE	○●
○	VALVE	○○

NOTES:

1. THE LOCATION OF ALL UTILITIES IS APPROXIMATE.
2. ALL UNITS TO BE SERVICED WITH PUBLIC SANITARY SEWER AND WATERMAIN. INFORMATION SHOWN IS FROM APPROVED CONSTRUCTION PLANS.
3. STORM SEWER LOCATIONS OBTAINED FROM APPROVED CONSTRUCTION PLANS.
4. ALL UNITS TO BE SERVICED WITH CABLE, ELECTRIC, GAS AND TELEPHONE.
5. UTILITIES FOR ALL UNITS SHOWN ON THIS PLAN MUST BE BUILT.
6. FINAL UTILITY LOCATIONS FOR GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION ARE NOT SHOWN HEREIN.
7. ALL SANITARY SEWER LEADS ARE 6" IN DIAMETER.
8. ALL UTILITY METER LOCATIONS WILL BE ON THE STRUCTURE WHEN IT IS BUILT AND/OR WITHIN THE UNIT BOUNDARIES.



PROPOSED DATE: JANUARY 11, 2016

LISA M. DROUILARD
LICENSED PROFESSIONAL SURVEYOR NO. 46723
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000

SECTION 21	TOWN 3 NORTH, RANGE 12 EAST
MANORS AT CENTRAL PARK CONDOMINIUM	SHELBY TOWNSHIP
UTILITY PLAN	MACOMB COUNTY, MICHIGAN
DATE	1/11/16
1/11/2016 REPLAT	
REVISIONS	
DR. JMM CL. LMD	
P.M. L.DROUILARD	
BOOK	
JOB 15001334	
Sheet No.	

CDR FILE: 15001334-CH-CH-LD-LING

DR. JMM CL. LMD
P.M. L.DROUILARD
BOOK
JOB 15001334
Sheet No.

81

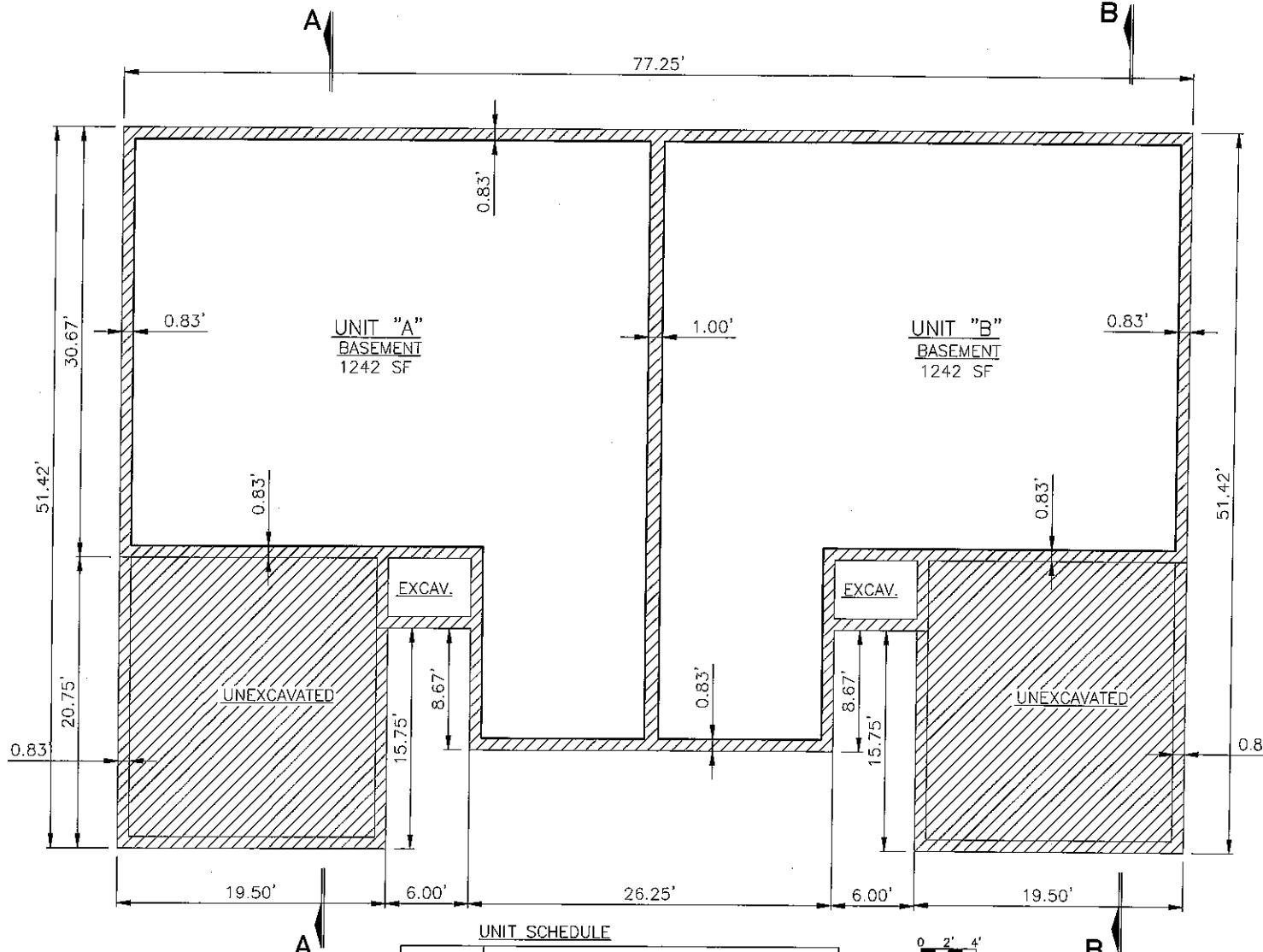
Know what's below.
Call before you dig.

The location of existing
and proposed underground
structures is approximate.
It is the responsibility of the
contractor to determine
the exact location of existing
structures. It is the responsibility
of the contractor to determine
the exact location of proposed
structures. It is the responsibility
of the contractor to determine
the exact location of all other
existing and proposed structures.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
RESPONSIBILITY OF THE
CONTRACTOR. UNDER THE OMB
REGULATIONS, THE CONTRACTOR
IS EXPECTED TO ASSURE THAT
THE WORK OF PERSONS ENGAGED
IN CONSTRUCTION IS PROTECTED
STRUCTURES OR OF ANY OTHER
PERSONS AND PROPERTY.

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ATWELL

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Southfield, MI 48076
(248) 447-2000

UNIT SCHEDULE

UNIT TYPE	UNIT NUMBER
"A"	33, 35, 39, 41, 43, 45, 47, 49, 51, 53, 55, 59, 61, 63, 65, 67, 69, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 97, 99, 101, 103, 105, 107, 109, 111, 113, 115, 117, 121, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167.
"B"	16-32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 71, 73, 75, 77, 79, 81, 83, 85, 87, 89, 91, 93, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 120, 123-124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166

0 2' 4'
1" = 4 FEET
SCALE

NOTES:

- ALL EXTERIOR BASEMENT WALLS ARE APPROXIMATELY 0.83'.
- DIMENSION OR THE UNITS AS SHOWN ON THESE FLOOR PLANS MAY VARY FROM THE DIMENSIONS OF THE UNITS AS CONSTRUCTED.
- ALL UNITS WILL BE CONSTRUCTED WITHOUT ANY OPTIONAL BAY-WINDOWS AND/OR BOX-OUT WINDOWS, UNLESS PURCHASER SPECIFICALLY CONTRACTS WITH THE DEVELOPER FOR THE CONSTRUCTION OF AN OPTIONAL BAY-WINDOWS AND/OR BOX-OUT WINDOWS.
- UNIT #1-15 ARE INTENTIONALLY OMITTED FROM TABLE.

LEGEND

GENERAL COMMON ELEMENT
LIMITS OF OWNERSHIP

PROPOSED DATE: JANUARY 11, 2016

LISA M. DROUILLARD
LICENSED PROFESSIONAL SURVEYOR NO. 46723
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000



SECTION 21	TOWN 3 NORTH, RANGE 12 EAST
MANORS AT CENTRAL PARK CONDOMINIUM BASEMENT PLAN	SHELBY TOWNSHIP
MACOMB COUNTY, MICHIGAN	
DATE 1/11/16	1/11/2016 REPLAT
REVISIONS	
DR. JMM	CH. LMD
P.M. DROUILLARD	
BOOK --	JOB 15001334
SHEET NO. 13	



NOTICE:
CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR, WHETHER THE OWNER OR DEVELOPER IS PRESENT. THE CONTRACTOR IS EXPECTED TO ASSUME ANY RESPONSIBILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY OCCURRED AT THE CONTRACTOR'S FAULT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND TO OTHER PROPERTY OWNED BY THE CONTRACTOR.

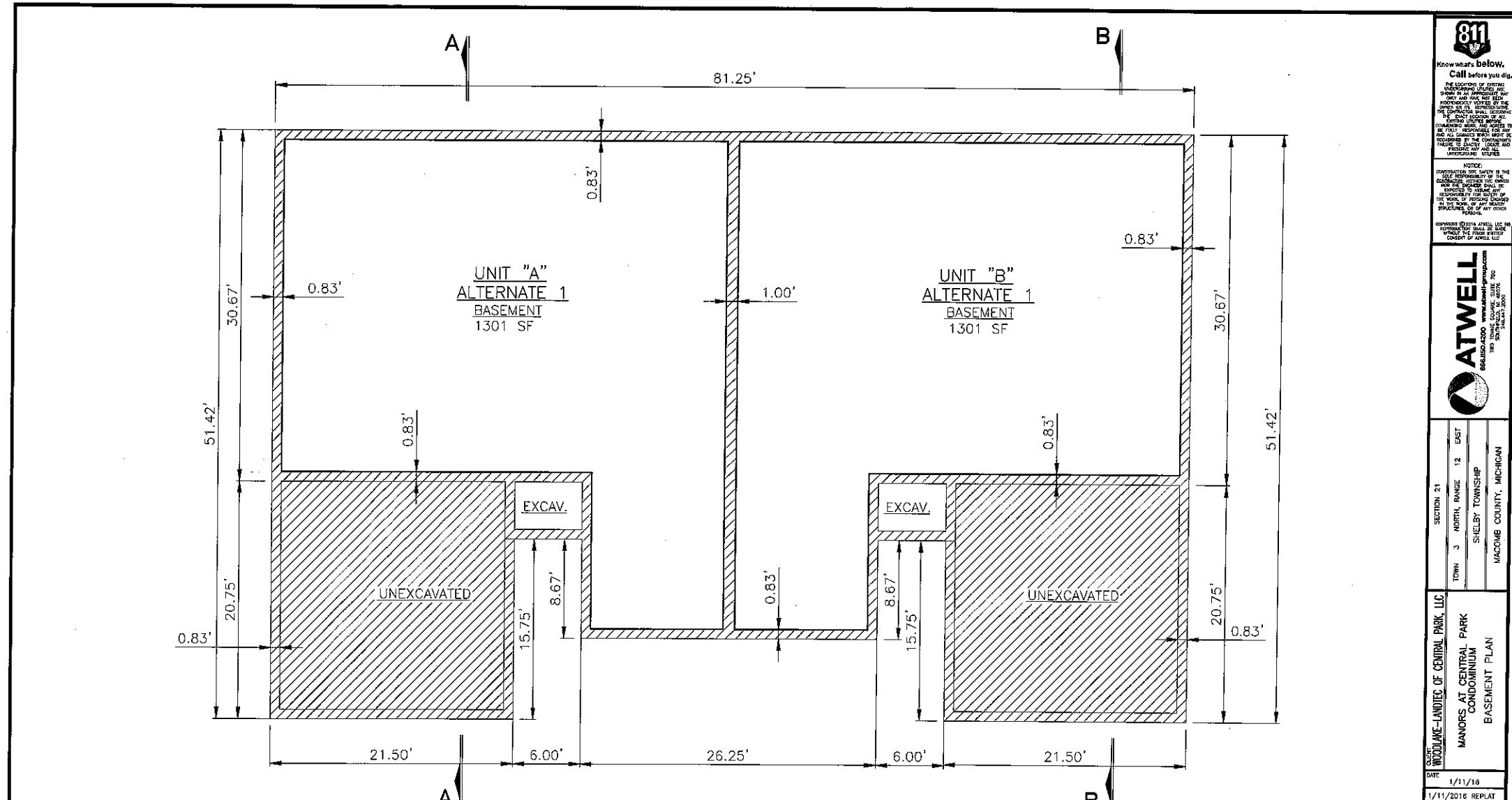
CONTRACTOR: ©2014 ATWELL LLC INC.
SUBCONTRACTOR: SHAWNAH CONSTRUCTION CO., INC.
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000



DATE:	1/11/16
MANORS AT CENTRAL PARK CONDOMINIUM BASEMENT PLAN	SECTION 21
TOWN: 3 NORTH, RANGE: 12 EAST	SHELBY TOWNSHIP
MACOMB COUNTY, MICHIGAN	

DATE: 1/11/2016
1/11/2016 REPLAT

REVISIONS
DR. JHM CH. LMD
P.M. L.DROUILLARD
BOOK --
JOB 15001334
SHEET NO. 13A
FILE # 15001334-004-BD-00



UNIT SCHEDULE

UNIT TYPE	UNIT NUMBER
"A"	37, 95, 119
ALT 1	
"B"	118, 122
ALT 1	

LEGEND

- GENERAL COMMON ELEMENT
- LIMITS OF OWNERSHIP

PROPOSED DATE: JANUARY 11, 2016

 LISA M. DROUILLARD
 LICENSED PROFESSIONAL SURVEYOR NO. 46723
 ATWELL
 TWO TOWNE SQUARE, SUITE 700
 SOUTHFIELD, MI 48076
 (248) 447-2000



811

Know what's below.
Call before you dig.

The locations of existing
and proposed utility lines
shown in an underground way
are not guaranteed to be
independently verified by the
operator or owner of the lines.
The cost of damage to utility
lines caused by digging is the
responsibility of the excavator.
Call 811 to locate utility lines
before you dig.

NOTICE
CONSTRUCTION SITE SAFETY: It is
the responsibility of the developer
to ensure that all work areas are
safe for workers. It is also the
responsibility of the developer
to inform the public of any nearby
structures or areas that may pose
a hazard to the public.

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Southfield, MI 48076

(248) 447-2000



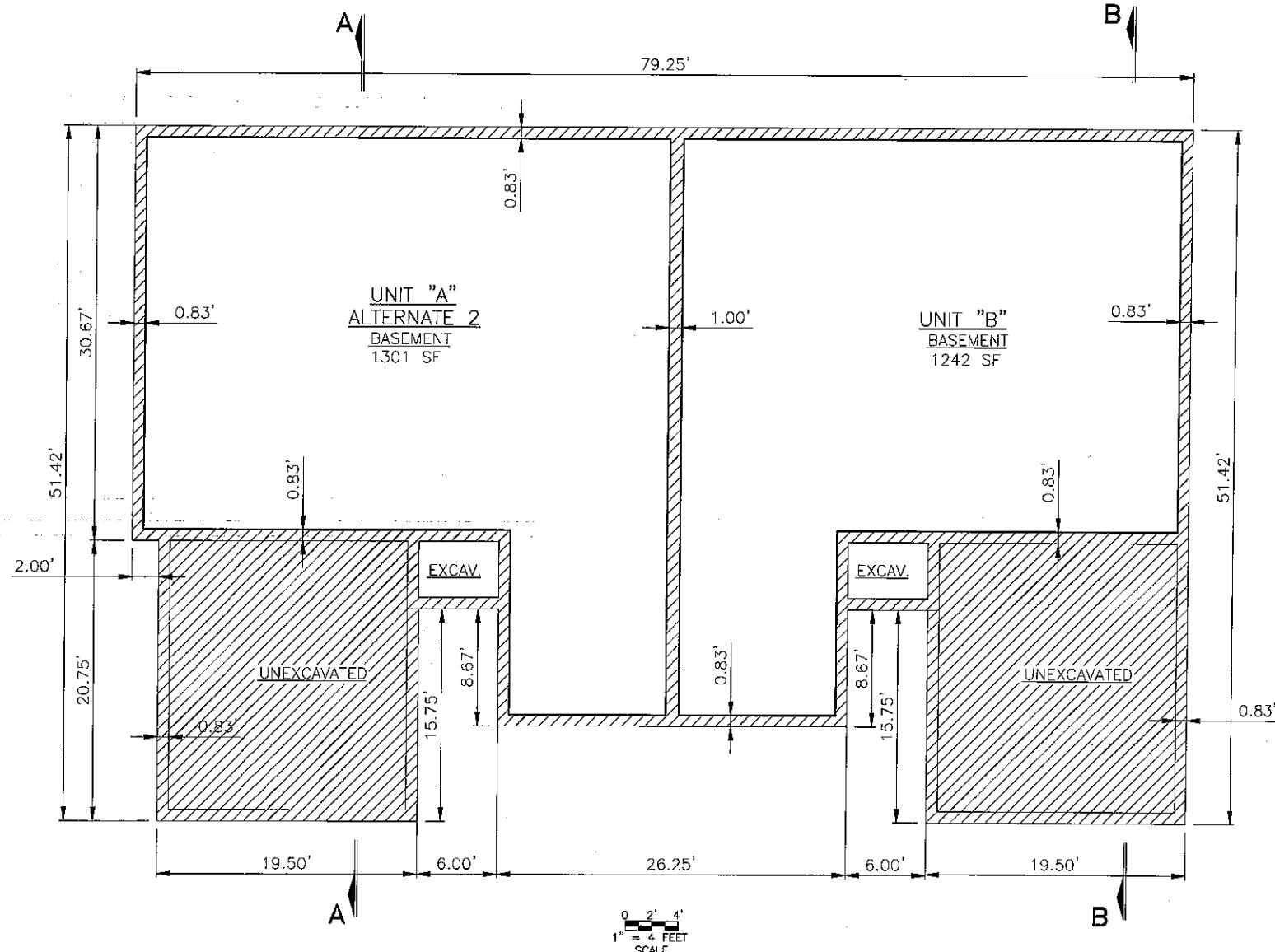
SECTION 21

TOWN 3 NORTH, RANGE 12 EAST
SHELBY TOWNSHIP
MACOMB COUNTY, MICHIGAN

MANORS AT CENTRAL PARK, LLC		SECTION 21
MANORS AT CENTRAL PARK CONDOMINIUM BASEMENT PLAN		

DATE: 1/11/16
1/11/2016 REPLAT

REVISIONS
DR. JHM CIL LMD
P.M. L.DROUILLARD
BOOK --
JOB 15001334
SHEET NO. 13B
CAD FILE 15001334C01-00-00-DPL.Dwg



UNIT SCHEDULE

UNIT TYPE	UNIT NUMBER
"A"	57
ALT 2	

NOTES:

- ALL EXTERIOR BASEMENT WALLS ARE APPROXIMATELY 0.83'.
- DIMENSION OF THE UNITS AS SHOWN ON THESE FLOOR PLANS MAY VARY FROM THE DIMENSIONS OF THE UNITS AS CONSTRUCTED.
- ALL UNITS WILL BE CONSTRUCTED WITHOUT ANY OPTIONAL BAY-WINDOWS AND/OR BOX-OUT WINDOWS, UNLESS PURCHASER SPECIFICALLY CONTRACTS WITH THE DEVELOPER FOR THE CONSTRUCTION OF AN OPTIONAL BAY-WINDOWS AND/OR BOX-OUT WINDOWS.
- UNIT #1-15 ARE INTENTIONALLY OMITTED FROM TABLE.

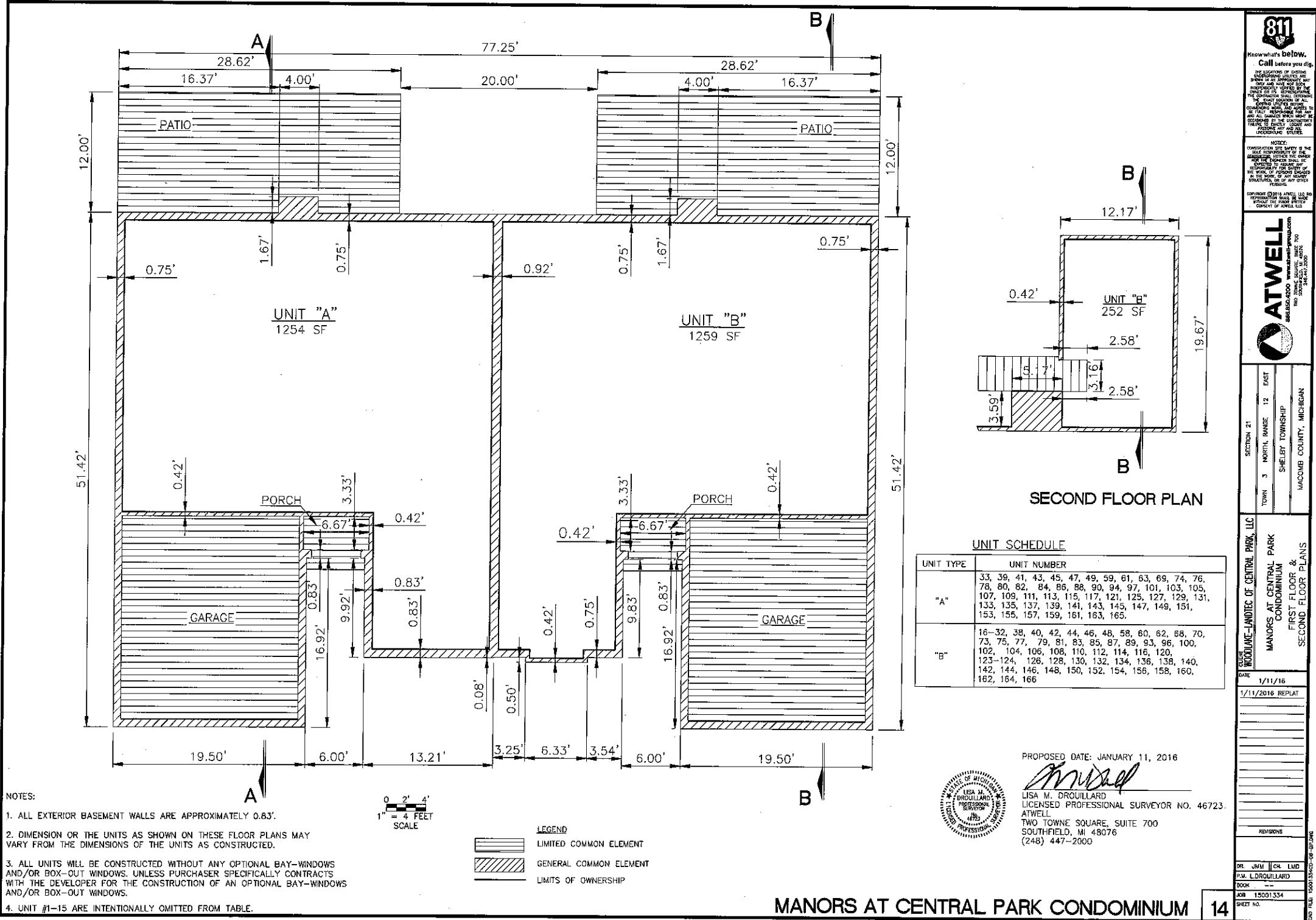
LEGEND

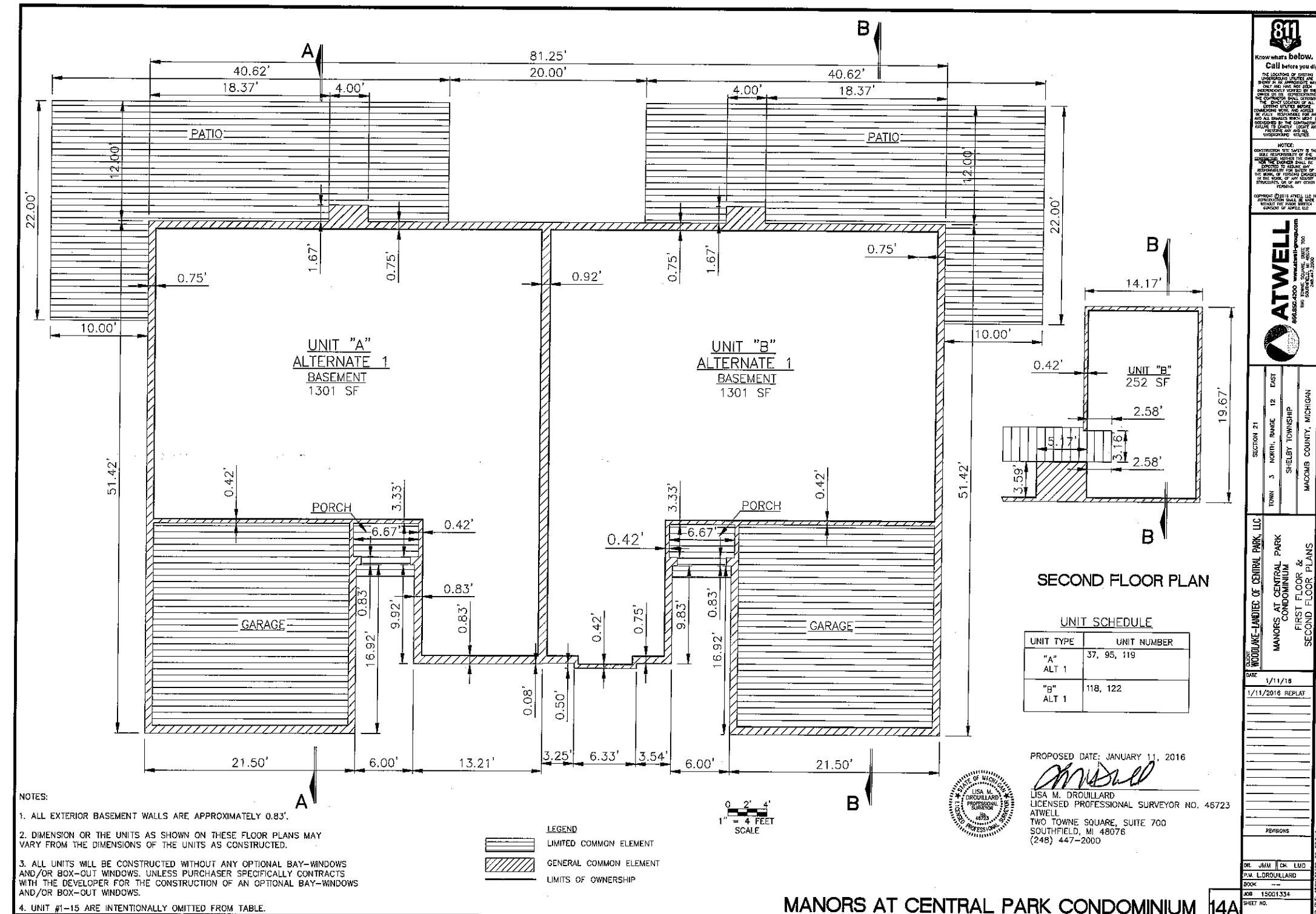
	GENERAL COMMON ELEMENT
	LIMITS OF OWNERSHIP

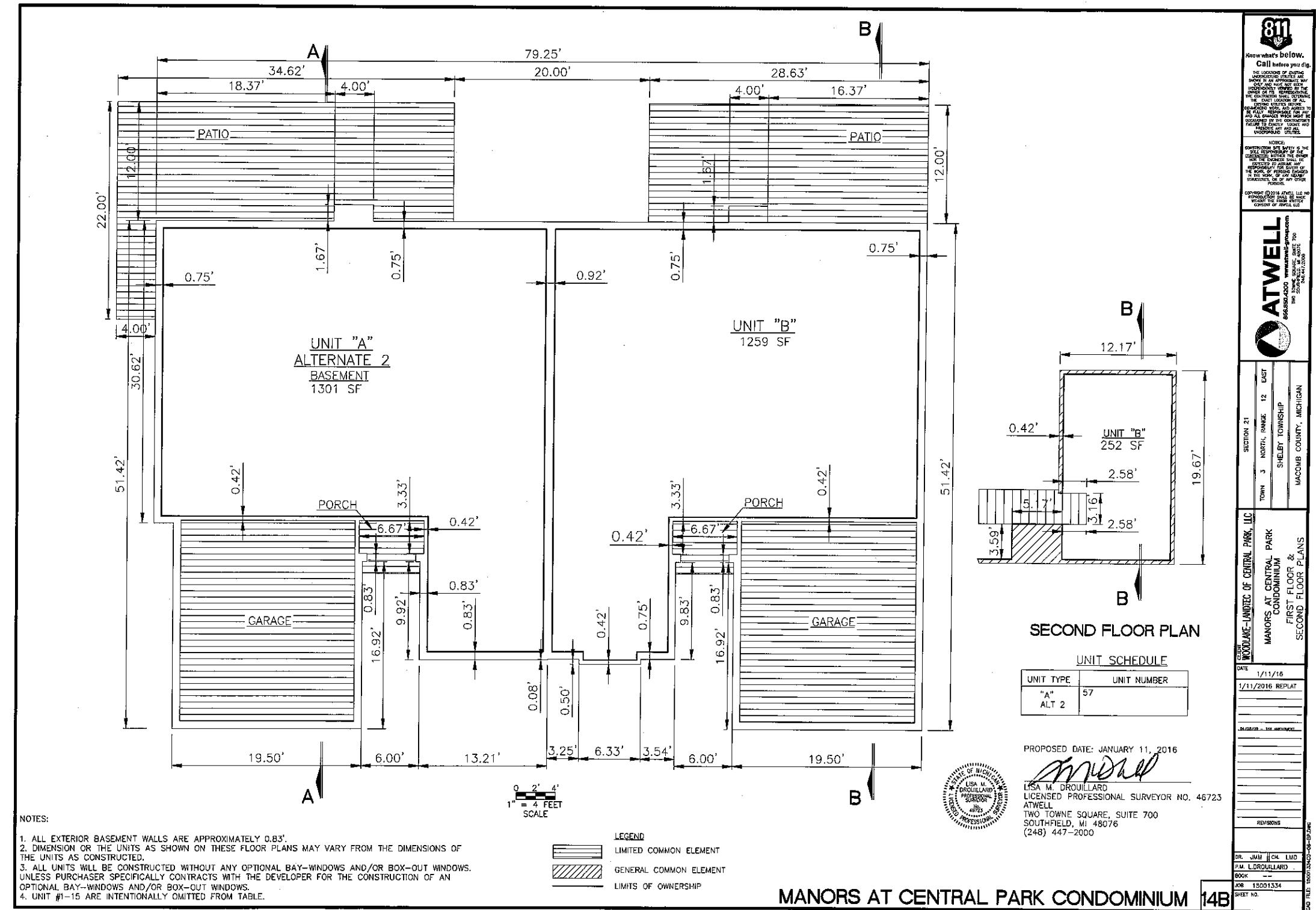


PROPOSED DATE: JANUARY 11, 2016

LISA M. DROUILLARD
LICENSED PROFESSIONAL SURVEYOR NO. 46723
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000







811

Know where below.
Call before you dig.

The locations of existing
and proposed utility lines
shown on an application may
not reflect the exact location
of the lines as verified by the
utility company or the state
utility commission. The
exact location of all
existing work and services to
any property shown on this
map are the responsibility of
the owner. It is the responsibility
of the contractor to verify
the exact location of all
existing underground utilities.

NOTICE:
CONTRACTORS, DRASTERS, SURVEYORS,
AND OTHER PROFESSIONALS WHO
ENTER PROPERTY SHOWN ON THIS
MAP ARE RESPONSIBLE FOR THE
SAFETY OF ALL PERSONS AND PROPERTY
IN THE WORK, OF ANY NEWLY
STRUCTURED, EXISTING, OR OTHER
PURPOSE.

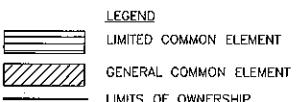
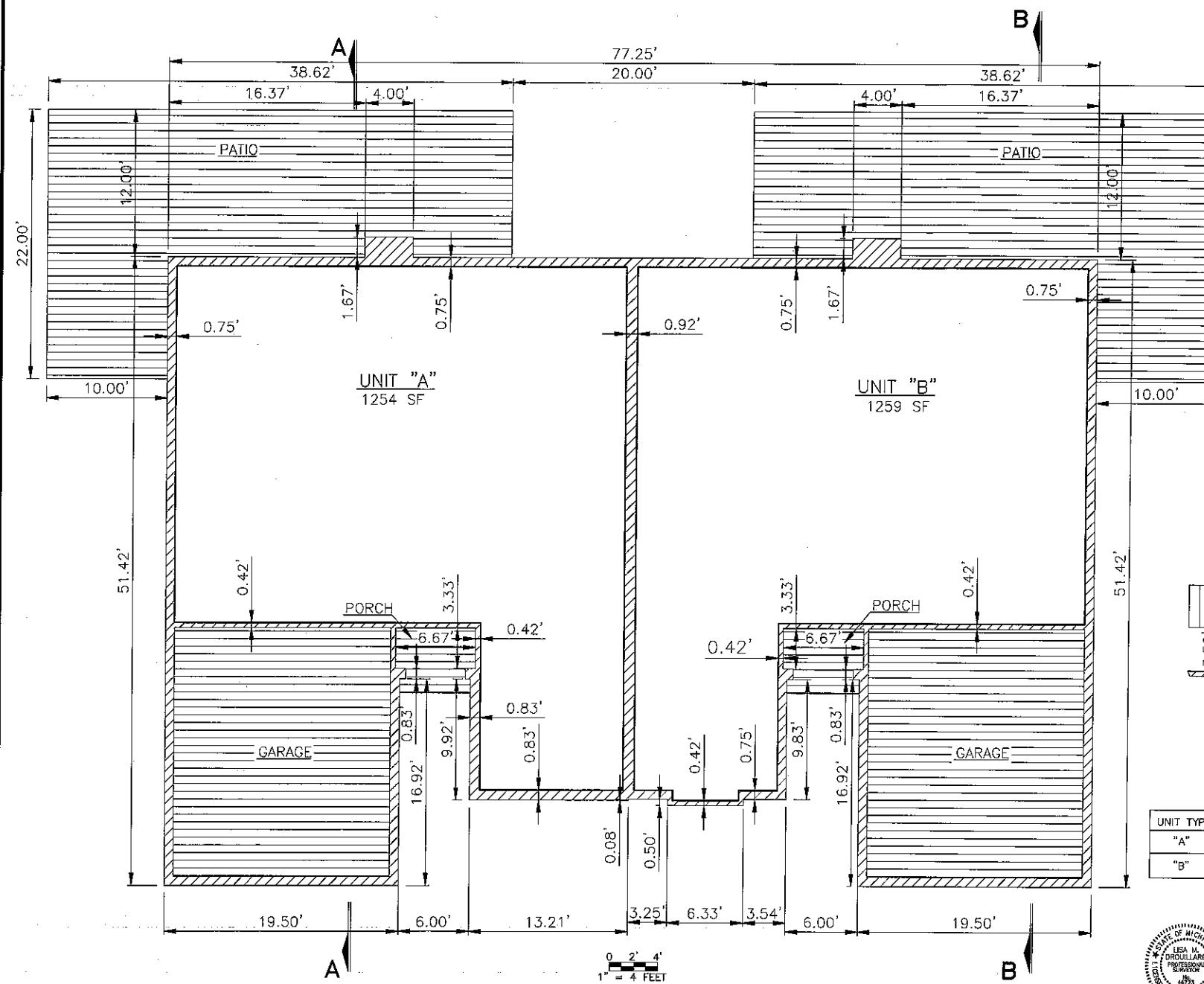
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MANORS AT CENTRAL PARK, LLC	SECTION 21
MANORS AT CENTRAL PARK CONDOMINIUM	TOWN 5 NORTH, RANGE 12 EAST
FIRST FLOOR & SECOND FLOOR PLANS	SHELBY TOWNSHIP
	MACOMB COUNTY, MICHIGAN

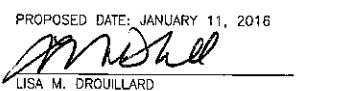
DATE	1/11/16
	1/11/2016 REPLAT

REVISIONS	
DR. JMM	CH. LND
LISA M. DROUILLARD	PROFESSIONAL SURVEYOR NO. 46723
BOOK	ATWELL
JOB 15001334	TWO TOWNE SQUARE, SUITE 700
SHEET NO.	SOUTHFIELD, MI 48076
	(248) 447-2000



MANORS AT CENTRAL PARK CONDOMINIUM 14C



PROPOSED DATE: JANUARY 11, 2016

LISA M. DROUILLARD
LICENSED PROFESSIONAL SURVEYOR NO. 46723
ATWELL
TWO TOWNE SQUARE, SUITE 700
SOUTHFIELD, MI 48076
(248) 447-2000

UNIT TYPE	UNIT NUMBER
"A"	35, 51, 53, 55, 65, 67, 72, 92, 99, 167
"B"	34, 36, 50, 52, 54, 56, 64, 66, 71, 91, 98

CD-701 FORMS & DRAWINGS

